

Dear Councillor

PLANNING COMMITTEE - TUESDAY, 16TH MARCH, 2021

Please find attached copies of the addendae and plans for the above meeting.

Agenda No	Item
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- | | |
|----|---|
| 3. | <u>AREA WEST - DETERMINATION OF PLANNING APPLICATIONS</u> (Pages 3 - 46) |
| 4. | <u>AREA SOUTH - DETERMINATION OF PLANNING APPLICATIONS</u> (Pages 47 - 98) |

Yours sincerely

Wendy Walters

Chief Executive

Encs

Wendy Walters

Prif Weithredwr, Neuadd y Sir,
Caerfyrddin, Sir Gaerfyrddin SA31 1JP
Chief Executive, County Hall,
Carmarthen, Carmarthenshire SA31 1JP



BUDDSODDWYR | INVESTORS
MEWN POBL | IN PEOPLE

Mae croeso i chi gysylltu â mi yn y Gymraeg neu'r Saesneg

You are welcome to contact me in Welsh or English

*Ardal
Gorllewin/
Area West*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

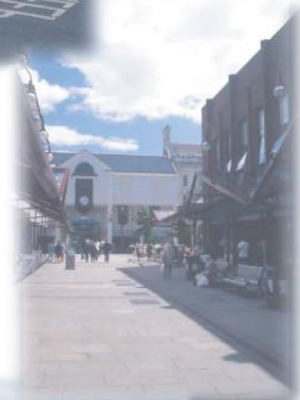
**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 16 Mawrth 2021
ON 16 March 2021**

**I'W BENDERFYNU/
FOR DECISION**

**ATODIAD
ADDENDUM**



W/39819	CHANGE OF USE OF LAND TO RESIDENTIAL CURTILAGE AND BARN CONVERSION TO AN ANNEX OF THE MAIN DWELLING GELLI DRYGAR, TRAWSDRE ROAD, CEFNEITHIN, LLANELLI, SA14 7HL
----------------	--

Planning Policy

Planning Policy Wales (PPW) Edition 10, December 2018 is considered relevant to the determination of this application.

.....replaced with:

National Planning Policy and Guidance is provided in Future Wales: The National Plan 2040, Planning Policy Wales (PPW) Edition 11, February 2021 and associated Technical Advice Notes (TANs) published by Welsh Government.

PL/00725	DISCHARGE OF CONDITIONS 7, 11, 13 & 22 ON W/31728 (DETAILS OF ASSIGNED ARCHAEOLOGIST, CONSTRUCTION METHOD STATEMENT, DETAILS OF HYDROLOGICAL AND ECOLOGICAL CLERK OF WORKS, TV RECEPTION STUDY) LAND NORTH OF ESGAIRLIVING FARM, RHYDCYMERAU, LLANDEILO, SA19 7RG
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Planning Policy

Planning Policy Wales (PPW) Edition 10, December 2018 is considered relevant to the determination of this application.

.....replaced with:

National Planning Policy and Guidance is provided in Future Wales: The National Plan 2040, Planning Policy Wales (PPW) Edition 11, February 2021 and associated Technical Advice Notes (TANs) published by Welsh Government.

Consultation

One additional letter has been received from one of the neighbours highlighting the fact that work has commenced on the site in advance of discharge of conditions.

The Planning Officer will update Committee on recent events – the recommendation is to discharge the conditions as set out in the main report.

Y Pwyllgor
Cynllunio

Planning
Committee

16.03.2021

**RHANBARTH
Y GORLLEWIN**

**AREA
WEST**

Page 5



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CYMERADWYO**

**APPLICATIONS
RECOMMENDED
FOR APPROVAL**

Page 6



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W/39819

Page 7



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W/39819

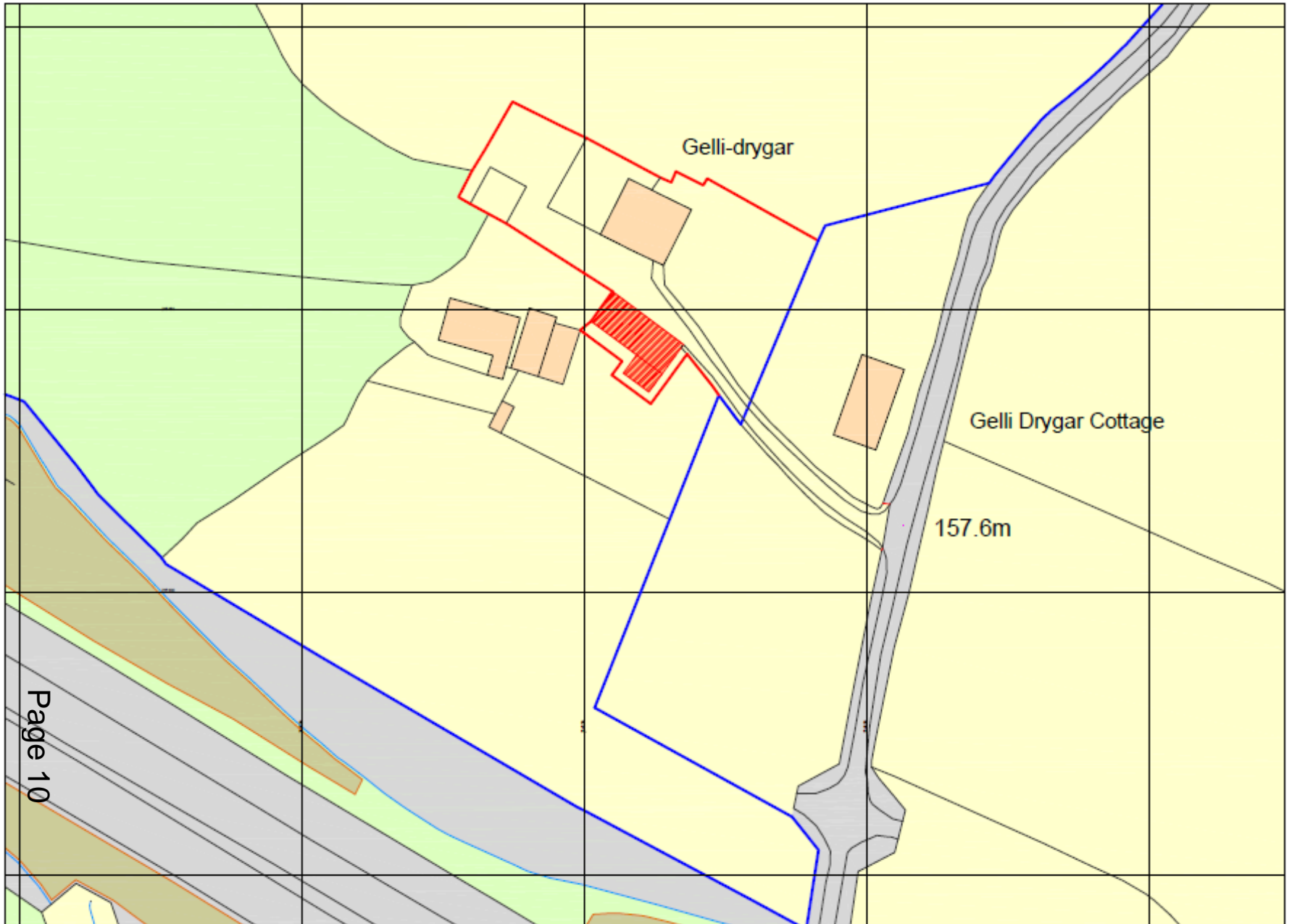


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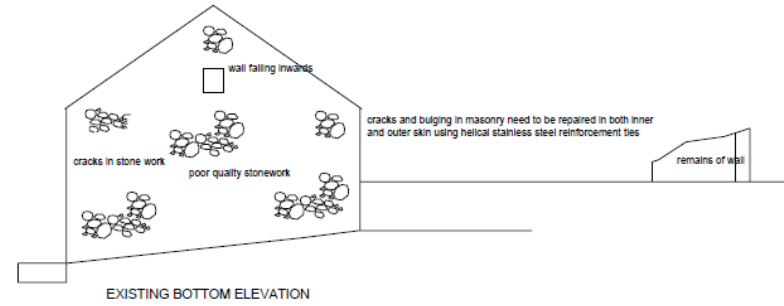
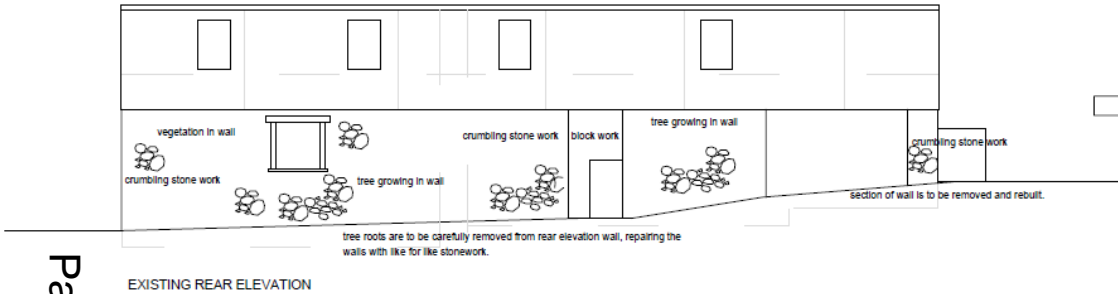
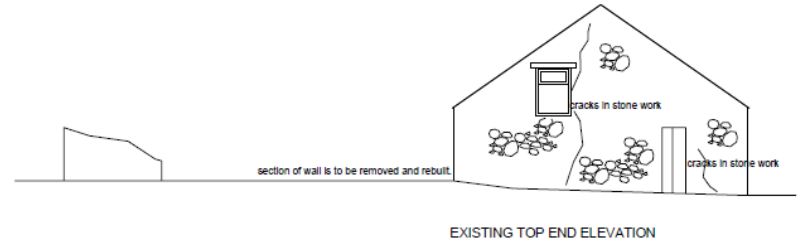
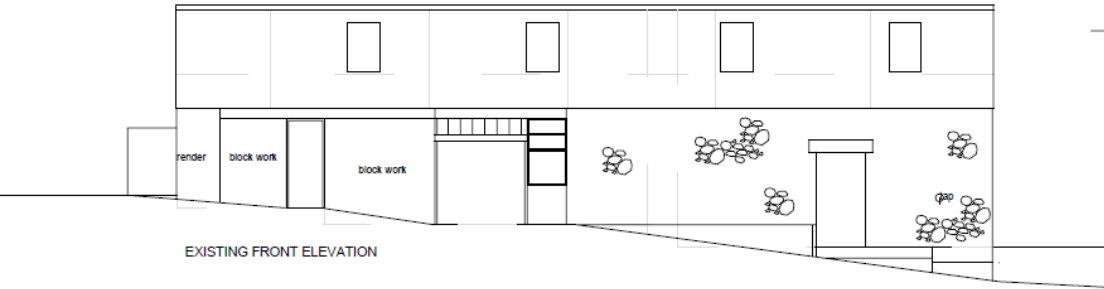
W/39819

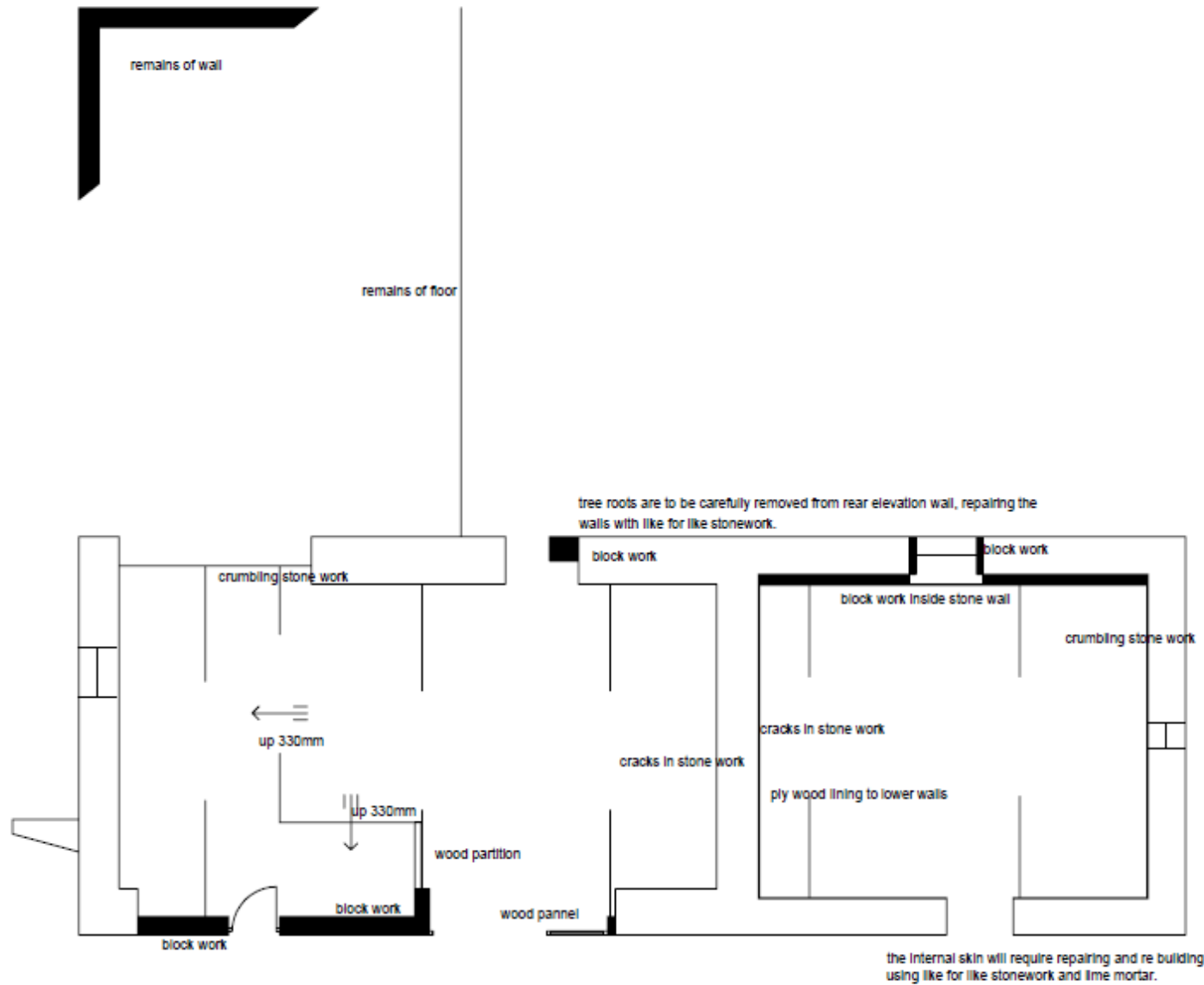


W/39819



W/39819





EXISTING FLOORPLAN

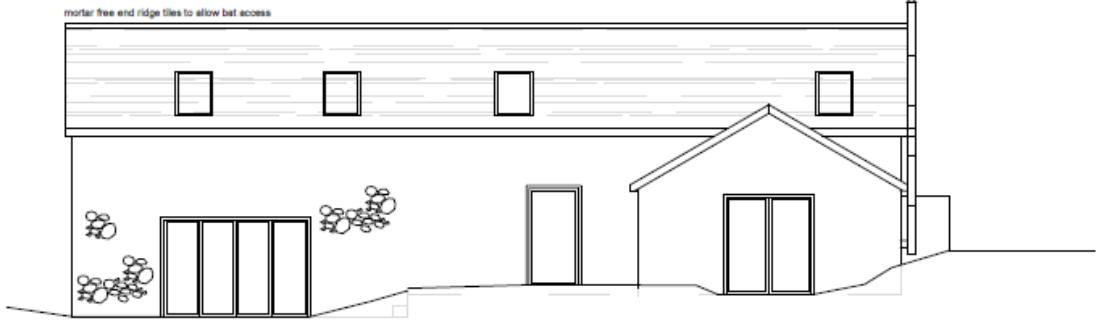
W/39819

extension to be finished off in, render, man made slate or second hand slates
 roof over main part to be finished in man made slate or second hand slates
 windows and doors, timber and finished with breathable paint
 external walls to be repointed in lime mortar
 lintels to be checked and if necessary replaced with hard wood ones
 timber cladding at entrance check and replaced with soft wood, painted with breathable paint

bat boxes to be placed in nearby trees
 mortar free end ridge tiles to allow bat access
 small gaps behind fascia boards and entrances to soffits
 rough faced walls to provide grip for landing bats to crawl into a roost
 gaps behind hanging tiles

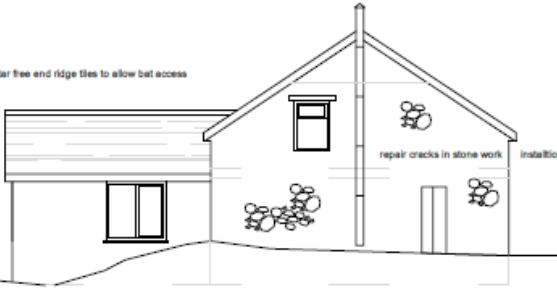
- * repair and replace the roof structure as required
- * the internal skin at the RM gable end will require repairing and rebuilding with like for like stonework and lime mortar.
- * cracks and bulging in masonry need to be repaired in both inner and outer skin using helical stainless steel reinforcement ties. I.e. Hellix, resin bonded or similar into mortar beds at min depth of 30 to 40mm
- * front and rear elevations in poor state of repair. Its recommended that a reinforced concrete ring beam poured on top of the wall plate, with the new perpendicular masonry partition walls to act as buttressing.
- * all the existing mortar material to be removed to a depth of 30 to 40mm, lime mortar is to be used for repointing.
- * internal concrete slabs need replacing to conform to current building regs.
- * all lintels and openings to be repaired using reinforced concrete lintels inside and timber lintels outside for visual effect.
- * tree roots are to be carefully removed from rear elevation wall, repairing the walls with like for like stonework.
- * small section of wall at rear LH side is to be removed and rebuilt.
- * any timbers remaining will need to be inspected and treated by timber specialist.
- * a structural engineer is to be contacted immediately in the structural integrity of the building is in any doubt during the build process.

mortar free end ridge tiles to allow bat access



PROPOSED REAR ELEVATION

mortar free end ridge tiles to allow bat access



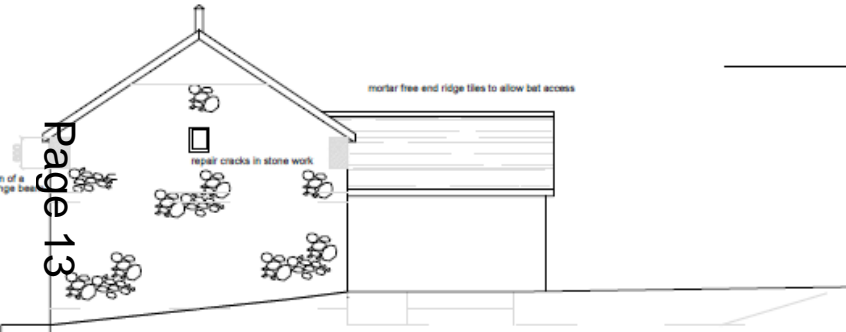
PROPOSED TOP ELEVATION

mortar free end ridge tiles to allow bat access



PROPOSED FRONT ELEVATION

mortar free end ridge tiles to allow bat access



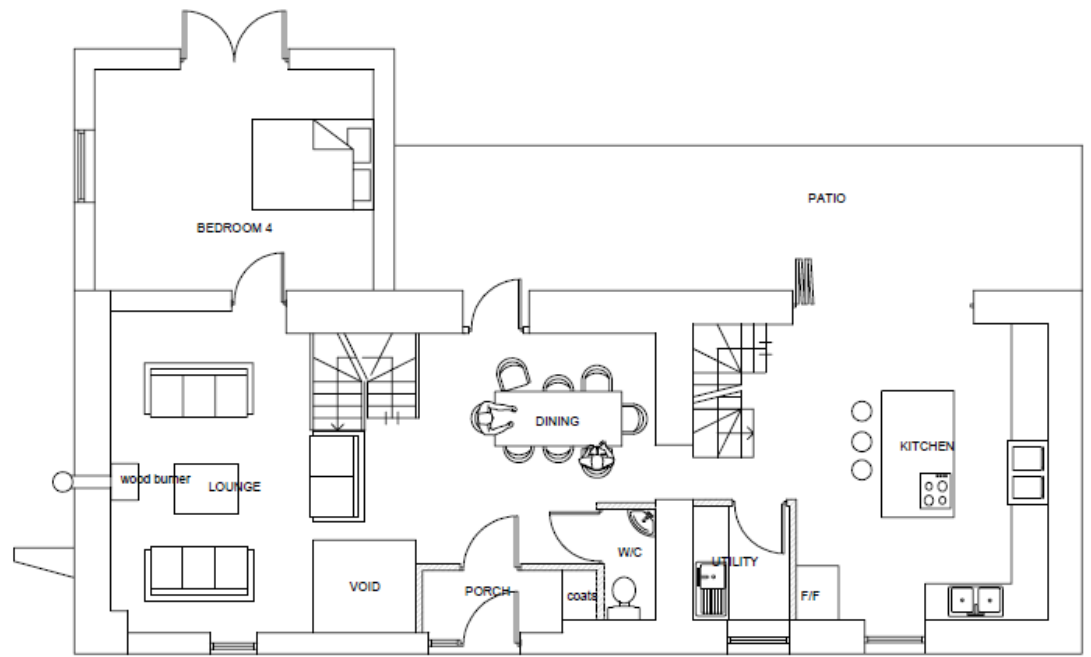
PROPOSED BOTTOM ELEVATION - 4m long extension with the stepper roof and narrower extension

DO NOT SCALE FROM DRAWING!

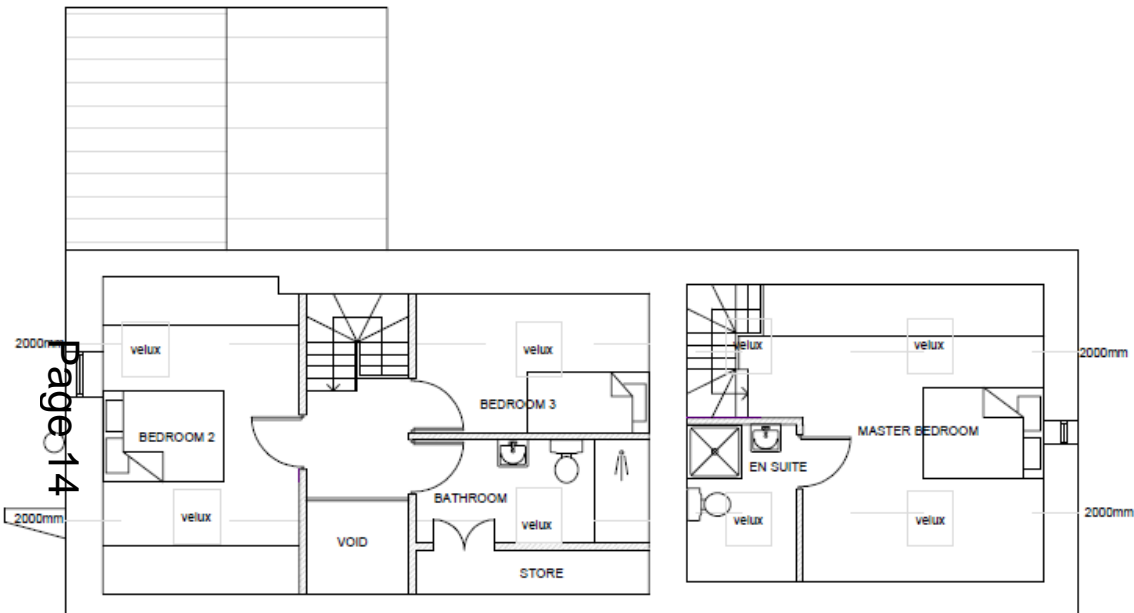
Date	Changes
06.11.2020	amended extension, roof height, notes

Client	Job Title	Job No
	BARN CONVERSION	18-440

W/39819



PROPOSED GROUND FLOORPLAN



PROPOSED FIRST FLOORPLAN

W/39819



W/39819



W/39819



W/39819



W/39819



W/39819



W/39819





W/39819



Page 22



W/39819



W/39819



W/39819



W/39819



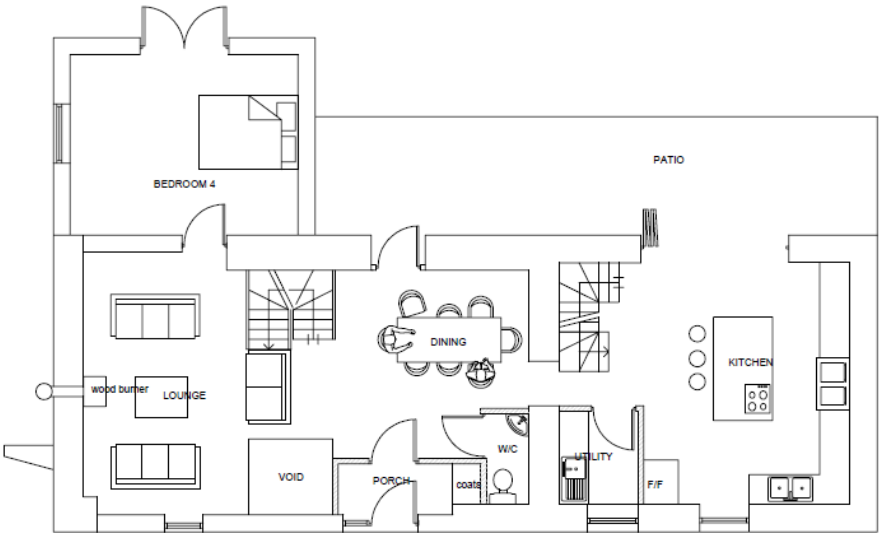
W/39819



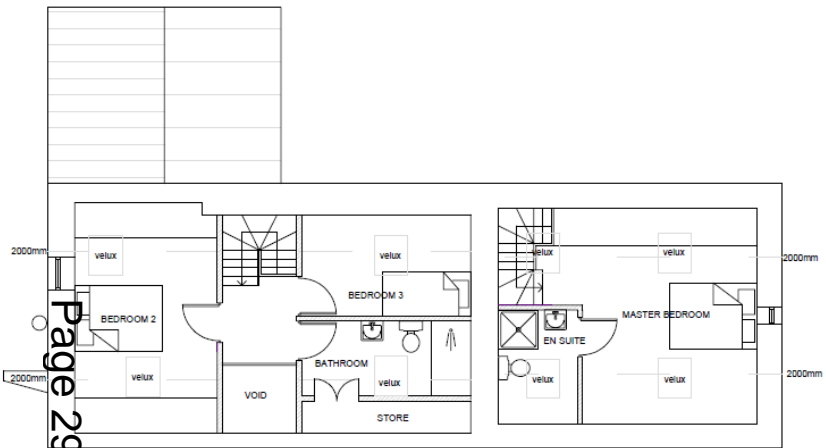
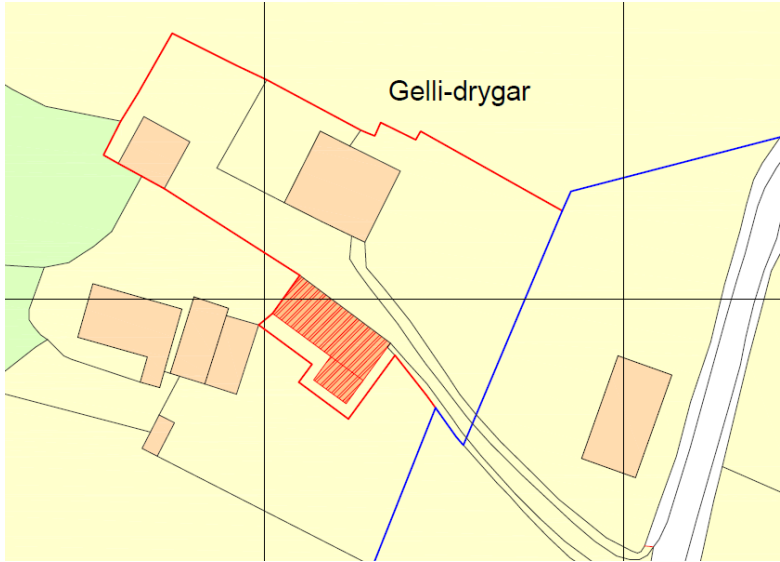
W/39819



W/39819



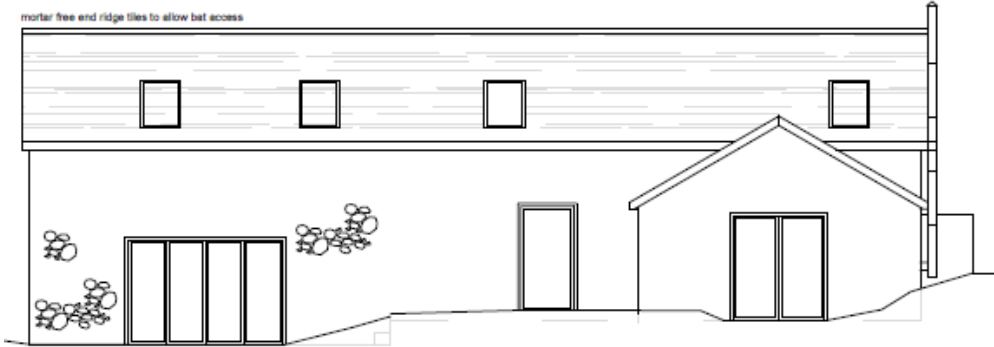
PROPOSED GROUND FLOORPLAN



PROPOSED FIRST FLOORPLAN



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

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Cynllunio

Planning
Committee

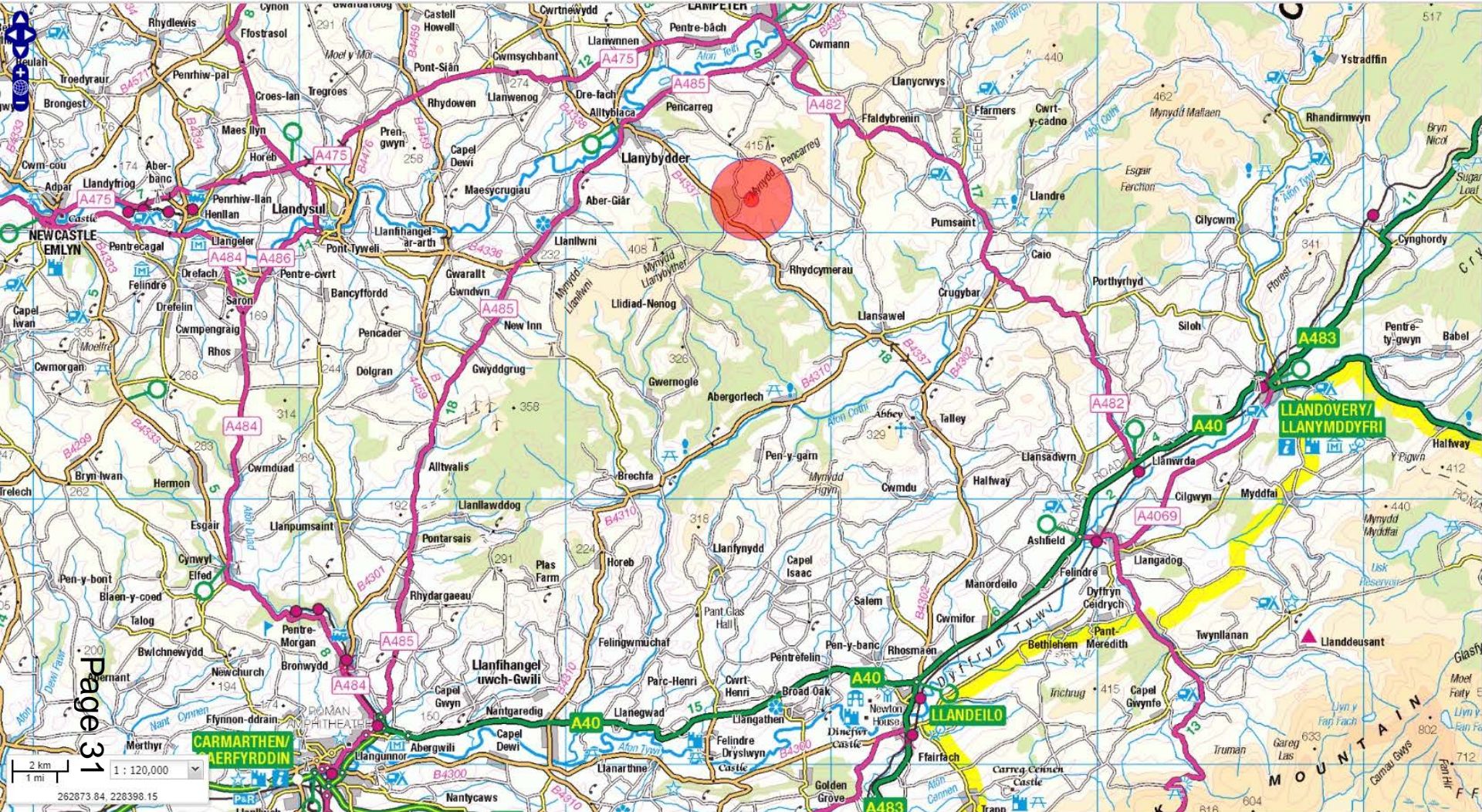
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Page 30

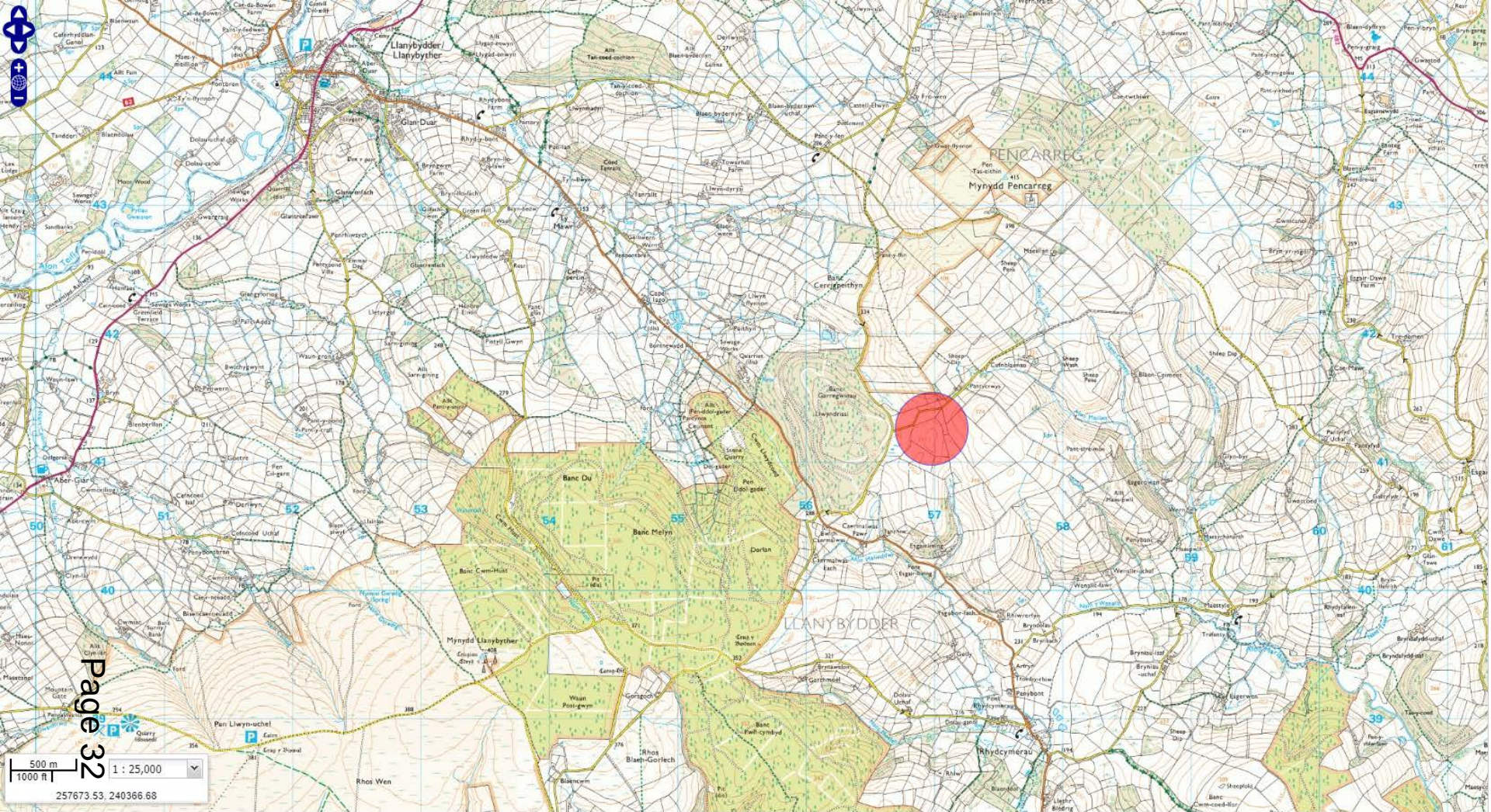


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PL/00725



PL/00725





Figure 1-1: Site Location

Legend

- Planning Application Boundary
- Land under control of applicant

0 0.5 1 2		Kilometers		 NORTH
Date	By	Paper	Scale	
Mar 2015	RK	A3	1:50,000	2

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Figure 1-2: Site Layout

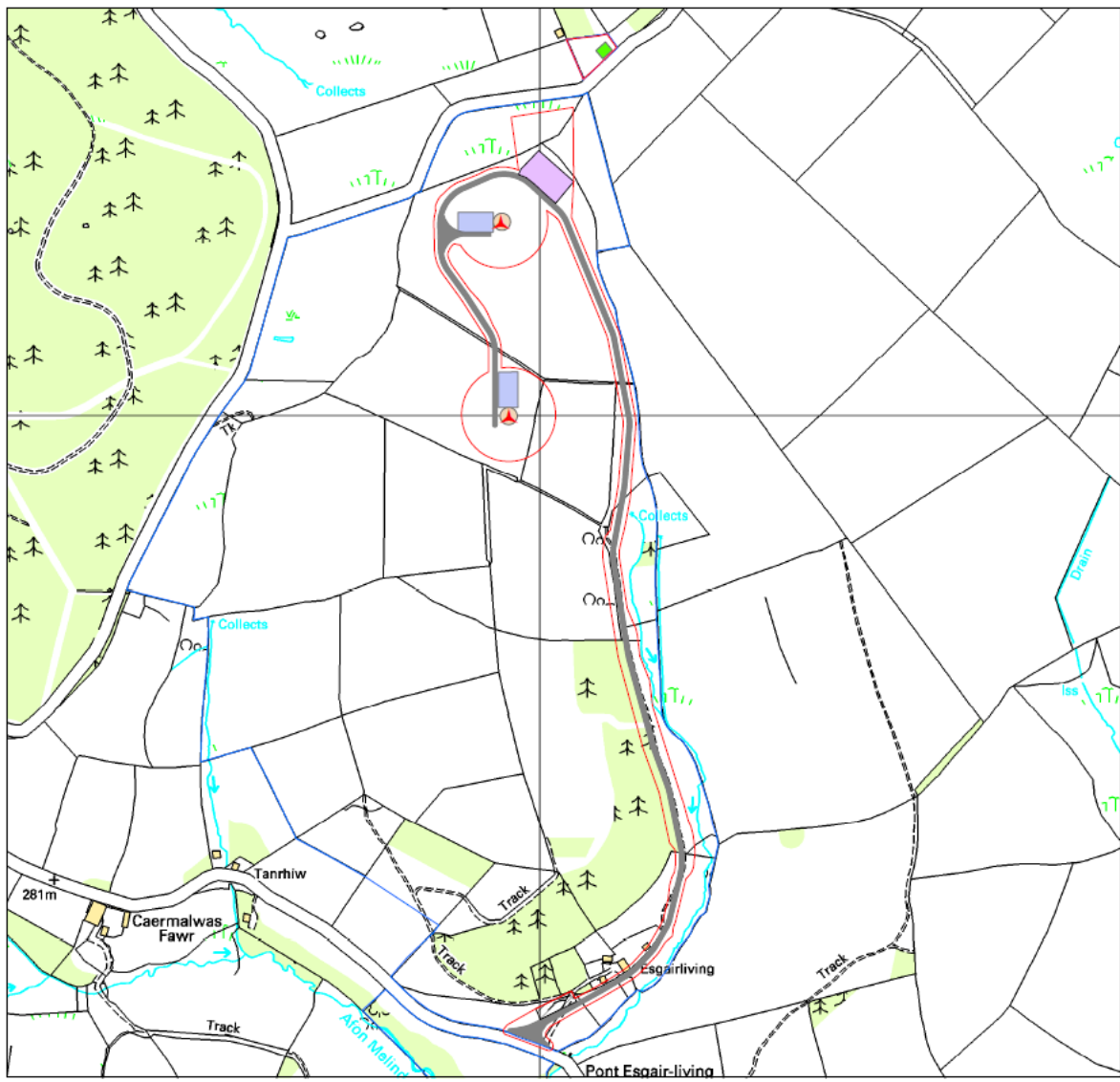
Legend

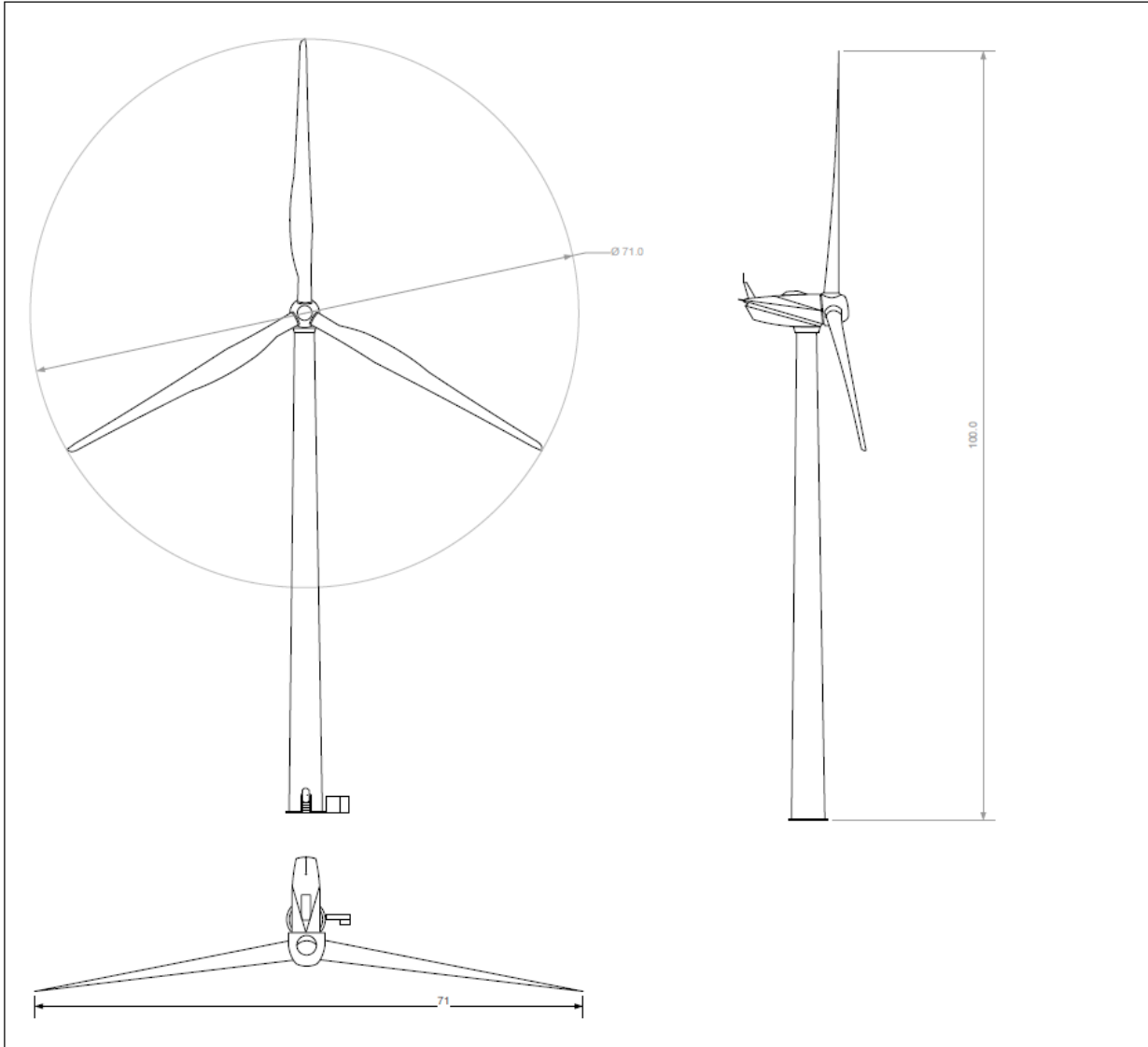
- Planning Application Boundary
- Land Under Control of Applicant
- ▲ Turbine Location
- Turbine Foundation
- Substation
- Crane Hardstanding
- Temporary Storage/Laydown Area
- Temporary Compound
- Access Track



Date	By	Paper	Scale	Rev
Jan 2015	RK	A3	1:5,000	1

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EnergieKontor

Mynydd Pencarreg Wind Turbines

Figure 3.1
Typical Wind Turbine Elevation

NOTES

Proposed tip height up to 100.0m

Proposed Rotor diameter up to 71.0m

W/00000

W/00000

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**CEISIADAU YR
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GWRTHOD**

**APPLICATIONS
RECOMMENDED
FOR REFUSAL**

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W/000000

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**EITEMAU
YCHWANEGOL Y
MAE ANGEN
PENDERFYNU YN
EU CYLCH**

**ADDITIONAL
ITEMS FOR
DECISION**

Page 43



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*Ardal Del/
Area South*

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CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE
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**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 16 Mawrth 2021
ON 16 March 2021**

**I'W BENDERFYNU/
FOR DECISION**

**ATODIAD
ADDENDUM**



PL/01050	DEMOLITION OF NO. 8-16 MARKET STREET AND REDEVELOPMENT TO PROVIDE MIXED USE ARCADE DEVELOPMENT INCLUDING HOTEL, RETAIL, OFFICE AND BAR/RESTAURANT UNITS (CLASS A1/A3/B1/C1)
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Planning Policy

PL/01050 – Amendment to Report – The last paragraph on the Planning Policy section of the report on Page 40 of the report should read as follows:-

National Planning Policy and Guidance is provided in Future Wales: The National Plan 2040, Planning Policy Wales (PPW) Edition 11, February 2021 and associated Technical Advice Notes (TANs) published by Welsh Government.

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Cynllunio

Planning
Committee

16.03.2021

**RHANBARTH
Y DE**

**AREA
SOUTH**

Page 49



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**APPLICATIONS
RECOMMENDED
FOR APPROVAL**

Y Pwyllgor
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PL/01050

Page 51



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Layers

- Hide Base Layer
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- SNN_Apps_point
- SNN_Apps_line
- BC_Pre_Apps_polygon
- BC_Pre_Apps_point
- BC_Pre_Apps_line
- BC_CPN_polygon
- BC_CPN_point
- BC_CPN_line
- BC_Applications_polygon
- BC_Applications_point
- BC_Applications_line
- Enforcement_Complaints_polygon
- Enforcement_Complaints_point

Maps & Aerial Photos

- Aerial Photos 2018 (north-east of count)
- Aerial Photos 2017 (missing north-east)
- Aerial Photos 2013-2014
- Aerial Photos 2009-2010
- Aerial Photos 2006
- Aerial Photos 1999-2001
- OS PSMA Composite Mapping
- OS PSMA Composite Mapping b/w
- Mastermap topo layer
- Mastermap topo layer b/w
- OS MiniScale
- 1:250,000 OS mapping
- 1:50,000 OS mapping
- 1:25,000 OS mapping

50 m | 100 ft | 1 : 2,500

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- SNN_Apps_point
- SNN_Apps_line
- BC_Pre_Apps_polygon
- BC_Pre_Apps_point
- BC_Pre_Apps_line
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- BC_CPN_point
- BC_CPN_line
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- BC_Applications_point
- BC_Applications_line
- Enforcement_Complaints_polygon
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- 1:250,000 OS mapping
- 1:50,000 OS mapping
- 1:25,000 OS mapping

50 m
100 ft
1 : 2,500
250844.83, 200352.84

PL/01050



PL/01050



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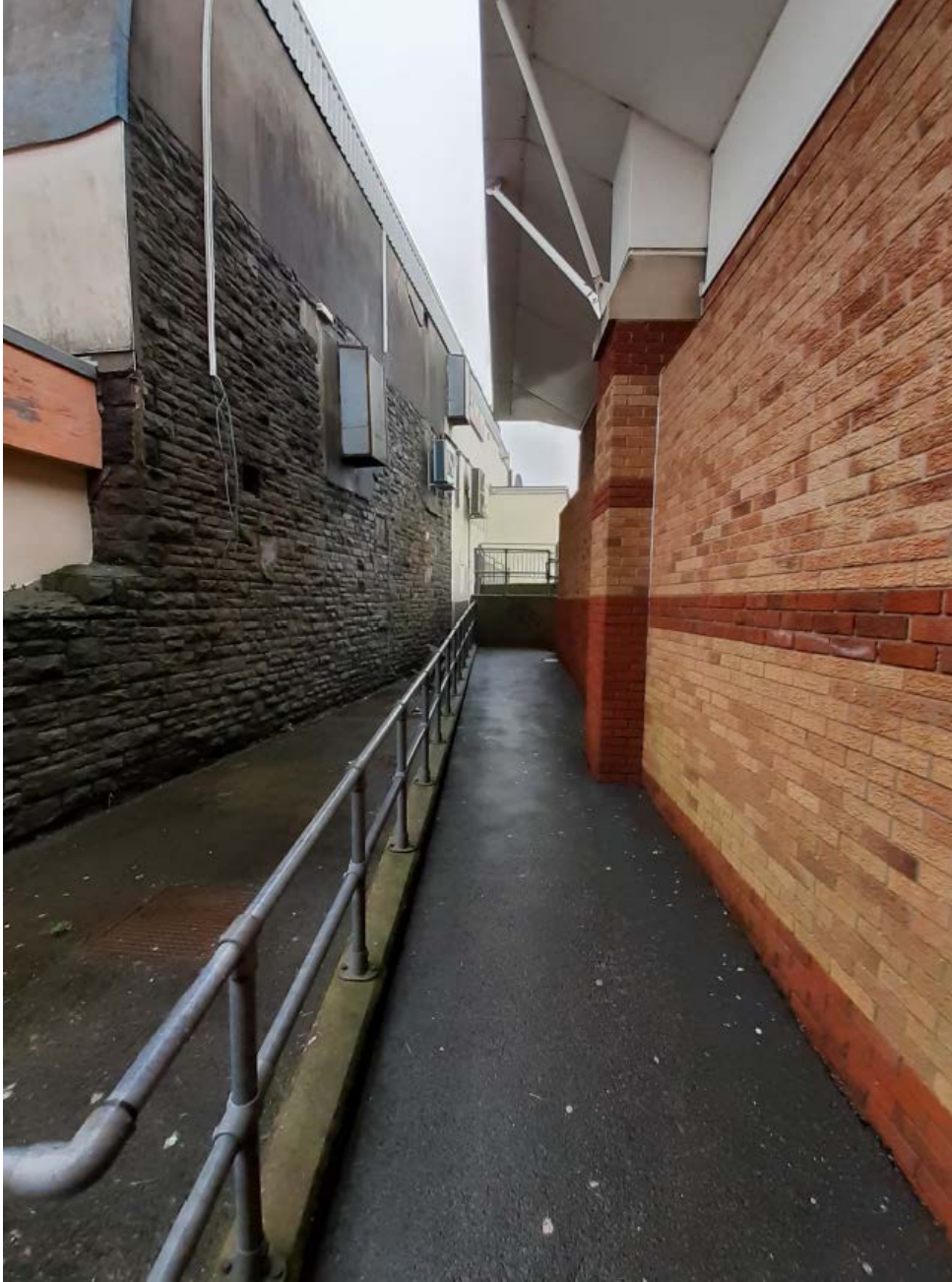
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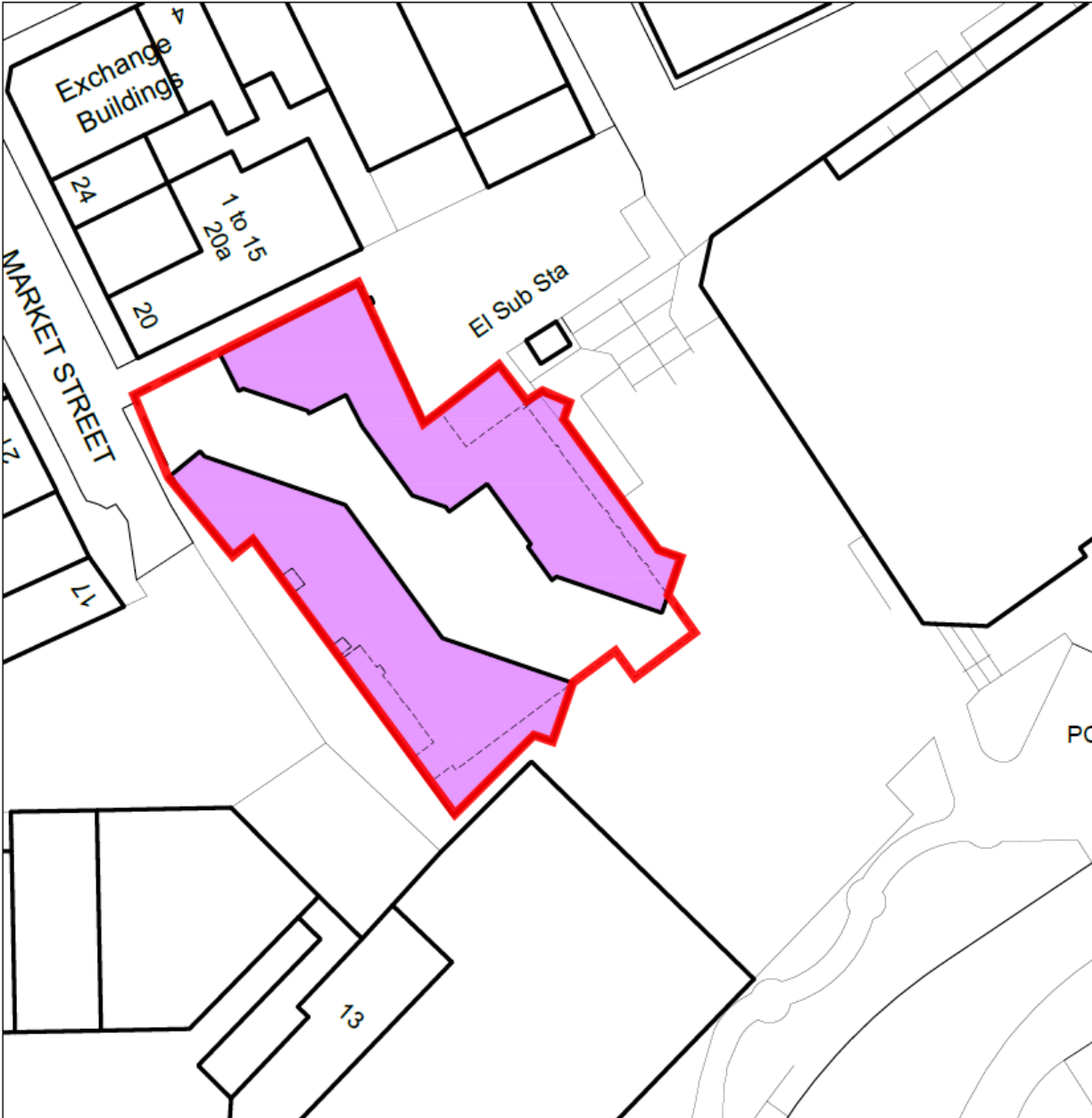
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PL/01050



PL/01050





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	A Application (subject to approval) AV 03/10/2020		Project Title New Mixed Use Development			
			Project Address 1 Y Linc, Market Street		A4	
			Project Address 2 Carmarthenshire		Checked by TOM	
			Drawing Title Urban Grain Plan			
			Date 06.10.2020	Scale 1:1000	Drawn by TOM	
			No. NC073	Drawing No. 004	Rev. A	
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			RIBA 	darkin architects drawing on experience		
			Chartered Practice			

PL/01050



- | KEY | |
|-----|-------------------------------------|
| 1. | Eastgate Communal Walkway |
| 2. | Development Accessway |
| 3. | Sports Direct Retail Outlet |
| 4. | Juniper Place (135m ²) |
| 5. | Old Havana (86m ²) |
| 6. | Carma Coffi (100m ²) |
| 7. | Bar/Restaurant (60m ²) |
| 9. | Retail Outlet (73m ²) |
| 10. | Retail Outlet (86m ²) |
| 11. | Listed Structure - Commercial |
| 12. | Existing Ramp, Ownership TBC |
| 16. | Store/Delivery (23m ²) |
| 17. | Internal Garden (27m ²) |
| 18. | Basement / Plant Room |

BASEMENT PLAN (Indicative Only)

Note: Basement design outside scope of services; to be designed by Engineer

Page 73

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NEATH 01639 383 000

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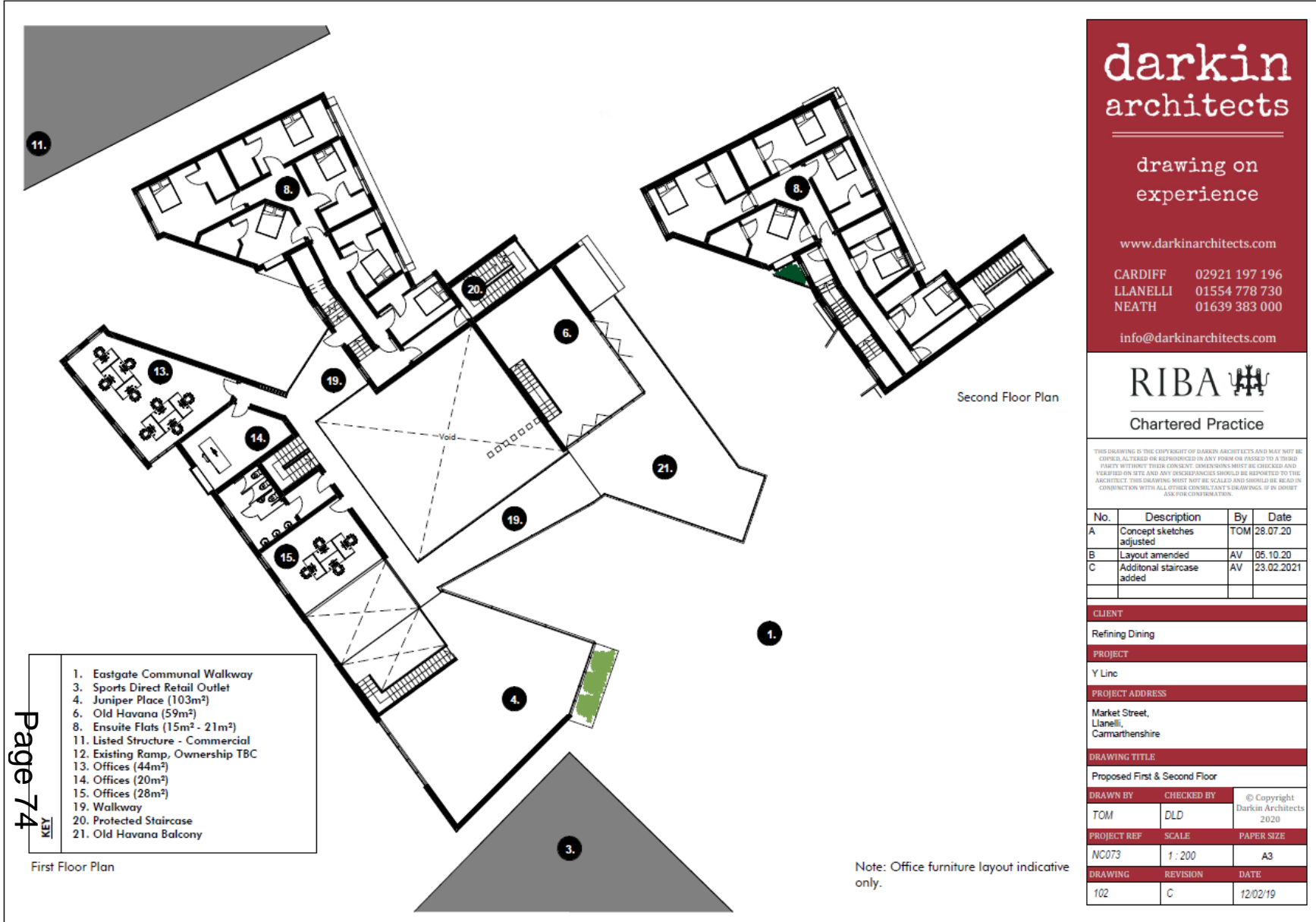
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No.	Description	By	Date
A	Concept sketches adjusted	TOM	28.07.20
B	Layout amended	AV	05.10.20
C	Additional staircase added	AV	23.02.2021

CLIENT			
Refining Dining			
PROJECT			
Y Linc			
PROJECT ADDRESS			
Market Street, Llanelli, Carmarthenshire			
DRAWING TITLE			
Proposed Ground Floor			
DRAWN BY	CHECKED BY	© Copyright Darkin Architects 2020	
TOM / AJW	DLD		
PROJECT REF	SCALE	PAPER SIZE	
NC073	1 : 200	A3	
DRAWING	REVISION	DATE	
101	C	01.08.2019	

PL/01050



- KEY**
- 1. Eastgate Communal Walkway
 - 3. Sports Direct Retail Outlet
 - 4. Juniper Place (103m²)
 - 6. Old Havana (59m²)
 - 8. Ensuite Flats (15m² - 21m²)
 - 11. Listed Structure - Commercial
 - 12. Existing Ramp, Ownership TBC
 - 13. Offices (44m²)
 - 14. Offices (20m²)
 - 15. Offices (28m²)
 - 19. Walkway
 - 20. Protected Staircase
 - 21. Old Havana Balcony

First Floor Plan

Second Floor Plan

Note: Office furniture layout indicative only.

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No.	Description	By	Date
A	Concept sketches adjusted	TOM	28.07.20
B	Layout amended	AV	05.10.20
C	Additional staircase added	AV	23.02.2021

CLIENT

Refining Dining

PROJECT

Y Line

PROJECT ADDRESS

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Llanelli,
Carmarthenshire

DRAWING TITLE

Proposed First & Second Floor

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No.	Description	By	Date
A	Additional staircase added	AV	23.02.2021

CLIENT

Refining Dining

PROJECT

Y Line

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Market Street,
Llanelli,
Carmarthenshire

DRAWING TITLE

Character Area Plans (Use Class)

DRAWN BY: AV CHECKED BY: TOM © Copyright Darkin Architects 2020

PROJECT REF: NC073 SCALE: As indicated PAPER SIZE: A3

DRAWING: 106 REVISION: A DATE: 09.10.2020



KEY

1. Eastgate Communal Walkway
2. Development Accessway
3. Sports Direct Retail Outlet
4. Juniper Place
5. Old Havana
6. Carma Coffee
7. Bar/Restaurant
8. Ensuite Flats
9. Retail Outlet
10. Retail Outlet
11. Listed Structure - Commercial
12. Existing Ramp, Ownership TBC
13. Offices
14. Offices
15. Offices
16. Store/Delivery
17. Internal Garden
18. Old Havana Balcony
19. Walkway
20. Protected Staircase

USE CLASS

A1 SHOPS	A3 FOOD & DRINK	B1 BUSINESS	C1 HOTELS
--------------------	---------------------------	-----------------------	---------------------



Side Elevation - Fronting Eastgate

Material Palette

Black Window Frame

Black window frames provide a modern appearance to the development, whilst also being able to tie all the natural materials together, and not contradicting the design intent. The possible material choices of aluminium and uPVC offer a variety of uses, and depending on the specific use and location in the building, a bespoke choice can be made.



Welsh Larch Timber Cladding

Timber cladding follows the strategy of natural materials throughout the scheme. Products that are local and relate to the town are used where possible such as Welsh Larch. The characteristics of the timber allow the building to age gracefully, where it begins to silver and becoming a real feature for the scheme.



Modern Protruding Window Projections

Dark metal window projections frames and encapsulates the window or cladding within, but also offering depth to the elevation. This provides a slightly more residential feel to this section of the development, where short stay accommodation is provided, the customer wants to feel at home and protected.



Black Slate Z Stone Cladding

Dark, textured z-clad, hinting towards the heritage of the local area. Exhibiting the slate/stone texture creates a modern feel to the development, whilst simultaneously 'nodding' to the towns past. Combining this with the timber cladding adds to the natural palette of materials that have been chosen for the site.



Timber Louvres

Timber louvres can offer privacy to the user internally, whilst also pulling natural light into the space. This is key in specific areas, but also a timber louvre can break up a flat, two dimensional facade, and often hint that there is something further to explore, by creating only glimpses through into spaces beyond.



Living Walls & Vertical Gardens

Living walls provides instant impact to the building, whether it be external or internal, the ability to reach the users senses in not only sight, but touch and smell also. The well-being of the user in the building is key, and the living walls and vertical gardens strategy achieve this.



Side Elevation - Fronting Market Street

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No.	Description	By	Date
A	Additional staircase added	AV	23.02.2021

CLIENT		
Refining Dining		
PROJECT		
Y Line		
PROJECT ADDRESS		
Market Street, Llanelli, Carmarthenshire		
DRAWING TITLE		
Side Elevations		
DRAWN BY	CHECKED BY	© Copyright
AJW	DLD	Darkin Architects
PROJECT REF	SCALE	2020
NC073	1 : 200	A3
DRAWING	REVISION	DATE
302	A	04.02.2020



Internal Elevation - South West Facing

Material Palette

Black Window Frame

Black window frames provide a modern appearance to the development, whilst also being able to tie all the natural materials together, and not contradicting the design intent. The possible material choices of aluminium and uPVC offer a variety of uses, and depending on the specific use and location in the building, a bespoke choice can be made.



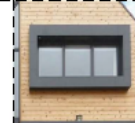
Welsh Larch Timber Cladding

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Black Slate Z Stone Cladding

Dark, textured z-clad, hinting towards the heritage of the local area. Exhibiting the slate/stone texture creates a modern feel to the development, whilst simultaneously nodding to the towns past. Combining this with the timber cladding adds to the natural palette of materials that have been chosen for the site.



Internal Elevation - North East Facing

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No.	Description	By	Date
A	Additional staircase added	AV	23.02.2021

CLIENT

Refining Dining

PROJECT

Y Linc

PROJECT ADDRESS

Market Street,
Llanelli,
Carmarthenshire

DRAWING TITLE

Proposed Internal Elevations

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AV	TOM	
PROJECT REF	SCALE	PAPER SIZE
NC073	1 : 200	A3
DRAWING	REVISION	DATE
303	A	28.10.2020



Upper Entrance Elevation - Fronting Eastgate



Lower Entrance Elevation - Fronting Market Street

PL/01050



Blue/Green Roof
 A blue roof allows the scheme to store surface drainage for the site, improving significantly the existing drainage of the site, and controlling the run-off. In terms of sustainability, this becomes not only a feature, but a key driving force to showcase the sustainability of the proposal.



Underside of Roof
 Timber Cladding to the underside of the new roofs, follows the sustainable element of the scheme and creates a tactile surface. Due to the thickness of the new roofs to allow for a blue roof scheme, timber cladding to the underside enables the possibility of a thinner roof detail and a modern appearance.

Page 80
Material Palette

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No.	Description	By	Date

CLIENT		
Refining Dining		
PROJECT		
Y Linc		
PROJECT ADDRESS		
Market Street, Llanelli, Carmarthenshire		
DRAWING TITLE		
Indicative Roof Plan		
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TOM	DLD	
PROJECT REF	SCALE	PAPER SIZE
NC073	1 : 200	A3
DRAWING	REVISION	DATE
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No.	Description	By	Date

CLIENT

Refining Dining

PROJECT

Y Linc

PROJECT ADDRESS

Market Street,
Llanelli,
Carmarthenshire

DRAWING TITLE

Proposed Renderings

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AJW	TOM	

PROJECT REF	SCALE	PAPER SIZE
NC073		A3

DRAWING	REVISION	DATE
905		29.10.2020

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- BC_Pre_Apps_line
- BC_CPN_polygon
- BC_CPN_point

Maps & Aerial Photos

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- OS PSMA Composite Mapping b/w
- Mastermap topo layer
- Mastermap topo layer b/w
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- 1:50,000 OS mapping
- 1:25,000 OS mapping
- OS VectorMap District
- OS VectorMap Local
- Historic map 1876-1936
- Historic map 1876-1919 (Llanelli area)
- Historic map 1876-1907
- Historic map 1876-1890

20 m
100 ft



1 : 1,250

250761.85, 200253.71

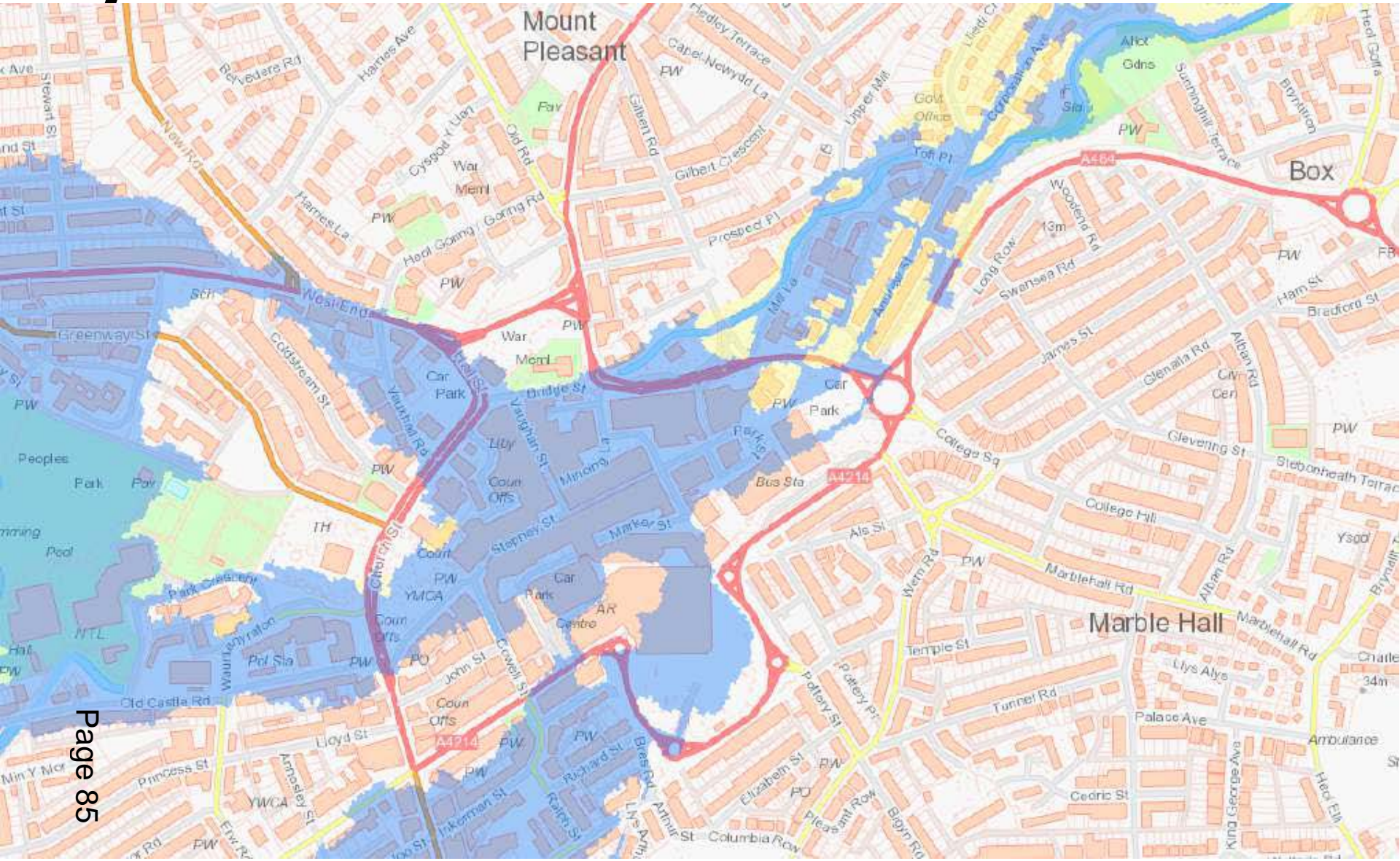
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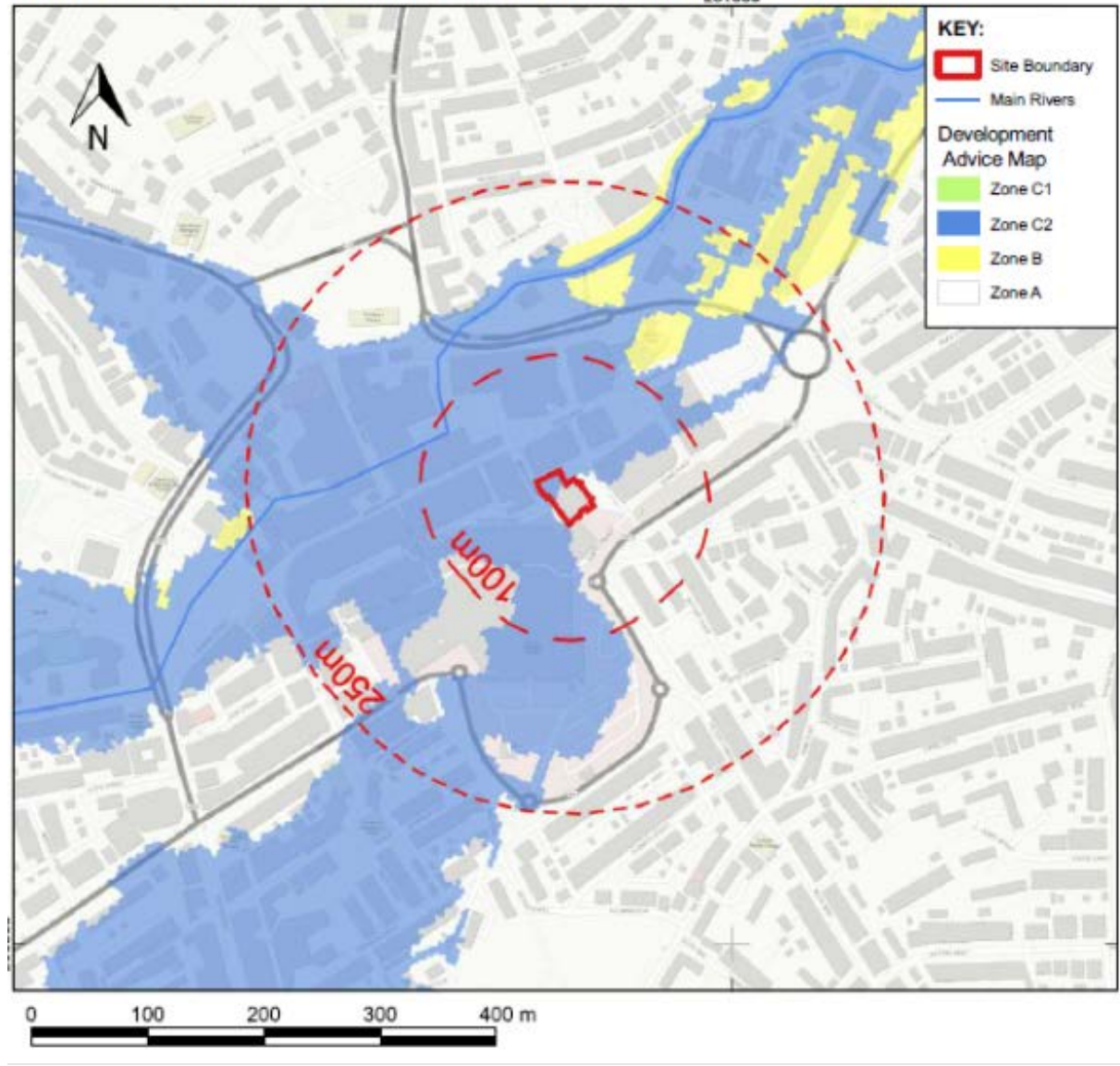
NOTES	CLIENT	Cynus Holdings Ltd									
	PROJECT TITLE	Y Linc									
	PROJECT ADDRESS	Market Street, Llanelli		A2							
	PROJECT LOCATION	Carmarthenshire		DLD							
	DRAWING TITLE	Contextual Elevation		DLD							
DATE	14.12.2020	SCALE	1:200	DRAWN BY	DLD	CHECKED BY	NC075	PROJECT NO.	305	SHEET NO.	1
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PL/01050



NATURAL RESOURCES WALES (NRW) DEVELOPMENT ADVICE MAP

251000



Y Pwyllgor
Cynllunio

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**CEISIADAU YR
ARGYMHELLIR EU
BOD YN CAEL EU
GWRTHOD**

**APPLICATIONS
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**EITEMAU
YCHWANEGOL Y
MAE ANGEN
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EU CYLCH**

**ADDITIONAL
ITEMS FOR
DECISION**

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